
GENERAL

- A This MCP has been prepared by Lendlease in order to regulate the siting, form and design of residential development in accordance with the Endorsed Building Envelope Plan, so as to create a high level of amenity for occupiers of Lots within the Plan of Subdivision.
- B The provisions of this MCP are incorporated into one or more restrictions created by the Plan of Subdivision.
- C This MCP, which includes the Endorsed Building Envelope Plan, provides siting details for a particular Lot.
- D This MCP imposes restrictions on the design and siting of Buildings, which in some cases may be different to those of the Building Regulations and Planning Scheme.
- E Where the siting restrictions in this MCP are contrary to Regulations 409, 410, 411, 412, 414, 415, 416, 417, 419, 420 and 421 of the Building Regulations, no consent and report of the relevant council is required, as this MCP has been prepared with regard to Regulation 406 of the Building Regulations.
- F The restriction created by the Plan of Subdivision does not exempt a Lot which has an Edge Boundary from the need for report and consent in relation to Regulations 414, 415 and 416 to the extent that they relate to that Edge Boundary.
- G Some of the matters addressed in this MCP may not be covered by the Building Regulations.

1 DEFINITIONS

In this MCP:

- 1.1 **“Endorsed Building Envelope Plan”** means the plan attached as Annexure A to this MCP and which forms part of this MCP and which specifies the building Setbacks that apply to each specific Lot to which this MCP applies (being Lots 4001 to 4044 inclusive). This may also specify other siting related matters for a particular Lot. In respect of a Building that does not require a Planning Permit, this MCP and the Endorsed Building Envelope Plan comprise an approved building envelope in terms of Regulations 402 and 406 of the Building Regulations.
- 1.2 **“Building”** has the same meaning as in the Building Act.
- 1.3 **“Building Act”** means the *Building Act 1993* as amended from time to time.
- 1.4 **“Building Permit”** means a building permit in terms of the Building Act.
- 1.5 **“Building Regulations”** means the *Building Regulations 2006* as amended from time to time.
- 1.6 **“Build to Boundary”** means a requirement indicated on the Endorsed Building Envelope Plan whereby a Building may be built abutting a side boundary, which has a build to boundary line marked on the Endorsed Building Envelope Plan.
- 1.7 **“Clear to the Sky”** has the same meaning as that in the Building Regulations.

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- 1.8 “**Control**” includes a restriction in terms of the *Subdivision Act 1988*, an agreement under section 173 of the Planning Act, a Planning Permit, an Act or an order of a Court or tribunal, which relates to the siting of a Building.
- 1.9 “**Edge Boundary**” means the boundary or part of a boundary of a Lot that abuts a lot which is not shown on the Plan of Subdivision.
- 1.10 “**Finished Surface Level**” means the finished surface level of the ground at the time of registration of the Plan of Subdivision.
- 1.11 “**Front Street**” means the street or road which forms the frontage to the Lot concerned. Where there is more than one road which adjoins a Lot, or where it may otherwise be unclear, the Front Street will be the one with the greatest Setback dimension from the Lot boundary as shown on the Endorsed Building Envelope Plan or as agreed in writing by Lendlease.
- 1.12 “**Habitable Room**” has the same meaning as in the Building Code of Australia.
- 1.13 “**Height**” has the same meaning as that in the Building Regulations.
- 1.14 “**Lendlease**” means Lendlease Communities (Australia) Ltd ACN 000 996 085.
- 1.15 “**Lot**” means a lot on the Plan of Subdivision.
- 1.16 “**MCP**” means this memorandum of common provisions.
- 1.17 “**Plan of Subdivision**” means plan of subdivision PS744129V and which incorporates this MCP.
- 1.18 “**Planning Act**” means the *Planning and Environment Act 1987* as amended from time to time.
- 1.19 “**Planning Permit**” means a permit issued under the Planning Act.
- 1.20 “**Planning Scheme**” means the Whittlesea Planning Scheme.
- 1.21 “**Private Open Space**” has the same meaning as that in the Building Regulations.
- 1.22 “**Regulation**” means a regulation of the Building Regulations.
- 1.23 “**Setback**” means the shortest horizontal distance from a particular boundary or Building to another boundary or Building.
- 1.24 “**Side Street**” means a laneway, street or road which abuts a Lot other than a Front Street.
- 1.25 “**Site Coverage**” has the same meaning as that in the Building Regulations.

2 EXEMPTION FROM THE NEED FOR REPORT AND CONSENT

2.1 General

In respect of a Building that does not require a Planning Permit, the restriction described under “**CREATION OF RESTRICTION A**” in the Plan of Subdivision exempts a proposed dwelling design which complies with this MCP from requiring the consent and report of the relevant council with regard to a design which does not comply with the Building Regulations in respect of the following:

- 2.1.1 minimum street setbacks (Regulation 409);
- 2.1.2 building height (Regulation 410);
- 2.1.3 site coverage (Regulation 411);
- 2.1.4 permeability (Regulation 412);
- 2.1.5 side and rear setbacks (Regulation 414);
- 2.1.6 walls on boundaries (Regulation 415);
- 2.1.7 daylight to existing habitable room windows (Regulation 416);
- 2.1.8 solar access to existing north-facing windows (Regulation 417);
- 2.1.9 overlooking (Regulation 419);
- 2.1.10 daylight to habitable room windows (Regulation 420); and
- 2.1.11 private open space (Regulation 421).

2.2 Minimum Street Setback (Regulation 409 and Clause 54.03-1)

- 2.2.1 No Building shall be sited on a Lot so that it has a Setback from the Front Street, which is less than the minimum Setback indicated on the Endorsed Building Envelope Plan.
- 2.2.2 Other than on Lots marked with the symbol ●, the following may encroach into the Setback distance indicated on the Endorsed Building Envelope Plan by not more than 2 metres for Front Streets and 0.5 metre for Side Streets:
 - (a) eaves, fascia and gutters, awnings, window hoods/canopies, sun blinds, shade sails and bay windows; and
 - (b) porches, verandahs, balconies, pergolas and porticos that have a maximum average Height of less than 9 metres above the Finished Surface Level.

2.2.3 On Lots marked with the symbol ●, the following may encroach into the Setback distance indicated on the Endorsed Building Envelope Plan by not more than 1 metre for Front Streets and 0.5 metre for Side Streets:

- (a) verandahs, pergolas, balconies and porches that have a maximum average Height of less than 12 metres above the Finished Surface Level [eave portion of roof (if provided) is not required to be calculated in regard to permissible encroachment of Setback];
- (b) a screening device which prevents direct overlooking;
- (c) eaves, fascia and gutters; and
- (d) window hoods/canopies, sun blinds, shade sails and bay windows.

2.2.4 On Lots with more than one street frontage, the Building must be set back a minimum of 1 metre from the secondary street frontage, unless otherwise indicated on the Endorsed Building Envelope Plan.

2.2.5 A garage accessed from the Front Street must not be constructed

- (a) less than 5 metres from the Front Street Lot boundary on a Lot greater than or equal to 300sqm;
- (b) between 2.2 and 5 metres from the Front Street Lot boundary on a Lot less than 300 square metres.

2.3 Building Height (Regulation 410)

2.3.1 Other than on Lots marked with the symbol ● and subject to clause 2.6 of this MCP, the maximum Height of a Building or a component of a Building on a Lot must not exceed:

- (a) 10 metres if the change in level of the Finished Floor Level at any cross section of the site of the Building that is wider than 8 metres is 1.2 metres or more; and
- (b) 9 metres in any other case.

2.3.2 On lots marked with the symbol ●, the maximum Height of a Building on a Lot must not exceed 12 metres to encourage a variety of roof forms.

2.4 Site Coverage (Regulation 411)

2.4.1 For Lots equal to or greater than 300 square metres, a Building on a Lot must not occupy more than 70% of the area of that Lot.

2.4.2 For Lots 200 square metres to 299 square metres, a Building on a Lot must not occupy more than 80% of the area of that Lot.

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- 2.4.3 For lots 199 square metres or less, a Building on a Lot must not occupy more than 90% of the area of that Lot.

2.5 Permeability (Regulation 412)

- 2.5.1 For Lots equal to and greater than 200 square metres, not more than 85% of the area of the Lot on which a Building is to be built may be covered by impermeable surfaces.
- 2.5.2 For Lots 199 square metres or less, not more than 95% of the area of the Lot on which a Building is to be built may be covered by impermeable surfaces.

2.6 Side and Rear Setbacks (Regulation 414)

Clauses 2.6.1, 2.6.2, 2.6.3 and 2.6.4 apply to all Lots other than Lots marked with the symbol ● on the Endorsed Building Envelope Plan.

- 2.6.1 Unless Clause 2.6.2 of this MCP applies, a Building wall of Height between 3.6 and 7 metres must be set back no less than 1.5 metres from a side boundary or a rear boundary unless shown otherwise on the Endorsed Building Envelope Plan.
- 2.6.2 A Building wall must not have a Setback of less than 1 metre from a side boundary or a rear boundary unless that boundary is indicated with a Build to Boundary line in the Endorsed Building Envelope Plan, in which case for that boundary the Building wall must not be built with a Setback between 0.2 metres and less than 1 metre.
- 2.6.3 The following may encroach into the side and rear Setback distances as indicated on the Endorsed Building Envelope Plan by not more than 500mm:
- (a) porches, balconies and verandahs (not including eaves if provided in accordance with Clause 2.2.3);
 - (b) masonry chimneys;
 - (c) sunblinds;
 - (d) screens, but only to the extent needed to protect a neighbouring property from a direct view;
 - (e) flues and pipes;
 - (f) domestic fuel tanks and water tanks; and
 - (g) heating and cooling equipment and other services.
- 2.6.4 The following may encroach into the side and rear Setback distances as indicated on the Endorsed Building Envelope Plan:
- (a) landings with an area of not more than 2 square metres and less than 1 metre in Height above Finished Surface Level;

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- (b) unroofed stairways and ramps;
 - (c) pergolas;
 - (d) shade sails;
 - (e) eaves, fascia, gutters not more than 650mm in total width;
 - (f) an outbuilding of 10sqm or less in area and not more than 3 metres in Height; and
 - (g) carports, walls and Buildings within the Build to Boundary zone.

Clauses 2.6.5, 2.6.6 and 2.6.7 apply only to Lots marked with the symbol ● on the Endorsed Building Envelope Plan.

2.6.5 A Building wall of up to 10.5 metres in Height must have a Setback from a side boundary of between 0 metre and 0.2 metre.

2.6.6 A Building wall of up to 10.5 metres in Height must have a Setback to a rear boundary that abuts a laneway as indicated on the Endorsed Building Envelope Plan.

Notwithstanding the above provision, a Building wall built on a side boundary may be up to 12 metres in Height only where this wall forms a part of the overall pitched or skillion roof form.

2.6.7 The following may encroach into the side and rear Setback distances as indicated on the Endorsed Building Envelope Plan by not more than 500mm:

- (a) porches, balconies, verandahs and pergolas on any given floor;
- (b) masonry chimneys;
- (c) sunblinds;
- (d) screens, but only to the extent needed to protect a neighbouring property from a direct view;
- (e) flues and pipes;
- (f) domestic fuel tanks and water tanks;
- (g) heating and cooling equipment and other services;
- (h) landings with an area of not more than 2 square metres and less than 1 metre in Height above Finished Surface Level;
- (i) unroofed stairways and ramps;
- (j) shade sails; and

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- (k) carports, walls and Buildings within the Build to Boundary zone.

Notwithstanding the above, eaves, fascias and gutters may encroach into the side and rear Setback distances as indicated on the Endorsed Building Envelope Plan by not more than 600mm in total width.

2.7 Walls on Boundaries (Regulation 415)

Clauses 2.7.1, 2.7.2 and 2.7.3 regulate the Height of a wall on a boundary.

- 2.7.1 For lots equal to or greater than 300 square metres, the Height of a wall on or within 200mm of a side or rear boundary of a Lot or the Height of a carport constructed on or within 1 metre of a side or rear boundary of a Lot and which is open on the side facing the boundary or boundaries must not exceed:
- (a) an average height of 3.6 metres or a maximum Height of 3.6 metres above Finished Surface Level; or
 - (b) an average Height of 4 metres above Finished Surface Level for Lots with significant fall as denoted on the relevant Endorsed Building Envelope Plan with the symbol "<+>".
- 2.7.2 For lots less than 300 square metres and other than on Lots marked ● , the Height of a wall on or within 200mm of a side or rear boundary of a Lot or the Height of a carport constructed on or within 1 metre of a side or rear boundary of a Lot and which is open on the side facing the boundary or boundaries must not exceed an average Height of 7 metres or a maximum Height of 7.5 metres above Finished Surface Level.
- 2.7.3 For lots less than 300 square metres and marked with the symbol ● , the Height of a wall on or within 200mm of a side or rear boundary of a Lot must not exceed a maximum Height of 10.5 metres above Finished Surface Level.

Clauses 2.7.4 and 2.7.5 regulate the length of a wall on a boundary.

- 2.7.4 Other than on Lots marked with the symbol ● , the length of a wall on or within 200mm of a side or rear boundary of a Lot, or the length of a carport constructed on or within 1 metre of a side or rear boundary of a Lot and which is open on the side facing the boundary or boundaries must not exceed:
- (a) 18 metres per boundary for a Building other than a garage or carport;
 - (b) 7 metres per boundary for a garage or a carport; and
 - (c) 20 metres per boundary for a combination of the Buildings described in clauses 2.7.4(a) or 2.7.4(b) of this MCP.
- 2.7.5 On Lots marked with the symbol ● the length of a wall on or within 200mm of a side or rear boundary of a Lot or the length of a carport constructed on or within 1 metre

of a side or rear boundary of a Lot and which is open on the side facing the boundary or boundaries must not exceed:

- (a) 20 metres per boundary for a Building other than a garage or a carport;
- (b) 9 metres per boundary for a garage or a carport; and
- (c) 22 metres per boundary for a combination of the Buildings described in clauses 2.7.5(a) or 2.7.5(b) of this MCP.

However, in the case of a retaining wall built on any Lot which has a boundary indicated with a Build to Boundary line in the Endorsed Building Envelope Plan, the Building wall may be built on or within 350mm of a side or rear boundary. The length and Height of the retaining wall shall be as set out in the Endorsed Building Envelope Plan, or otherwise as appropriate or necessary having regard to site conditions.

2.8 Daylight to Existing Habitable Room Windows (Regulation 416)

A Building must be set back from a Habitable Room window in an existing dwelling on an adjoining lot to provide for a light court to the window that has a minimum area of 3 square metres and a minimum dimension of 1 metre Clear to the Sky. The 1 metre Clear to the Sky distance can be achieved by including land on the adjoining lot and is to be measured from fascia to fascia.

2.9 Solar Access to Existing North-Facing Windows (Regulation 417)

A Building must be set back from a north-facing Habitable Room window of an existing dwelling on an adjoining lot to provide for a light court to the window that has a minimum area of 3 square metres and a minimum dimension of 1 metre Clear to the Sky. The 1 metre Clear to the Sky distance can be achieved by including land on the adjoining lot and is to be measured from fascia to fascia.

2.10 Overlooking (Regulation 419)

2.10.1 Other than on Lots marked with the symbol ●, a Habitable Room window of a proposed new Building must not provide a direct line of sight into a Private Open Space area or a Habitable Room window of a dwelling on an adjoining lot. The direct line of sight is any line measured from a Height of 1.7 metres above floor level of the Habitable Room and contained within the space enclosed by:

- (a) a vertical plan measured at an angle of 20 degrees from each side of the window; and
- (b) a horizontal plane 1.7 metres above the floor level of the Habitable Room;
- (c) the ground level below; and
- (d) a horizontal distance of 6 metres from the window.

2.10.2 On Lots marked with the symbol ●, a Habitable Room window of a proposed new Building must not provide a direct line of sight into a Private Open Space area of a Habitable Room window of a dwelling on an adjoining lot. The direct line of sight is any line measured from a Height of 1.7 metres above floor level for a distance of less than 6 metres within:

- (a) A vertical plane within an angle of 20 degrees from a vertical plan perpendicular from the window; and
- (b) A horizontal plane 1.7 metres above the floor level of the Habitable Room and a horizontal plane at ground level.

2.10.3 In the case of a direct line of sight from a raised open space, the line of sight is any line measured from a Height of 1.7 metres above the floor level and along the perimeter of the raised open space to any point within a horizontal distance of 6 metres from the raised open space and extending 20 degrees beyond any point where the perimeter of the raised open space meets a wall of a Building.

2.11 Daylight to Habitable Room Windows (Regulation 420)

A Habitable Room window of a Building on a Lot must face:

- 2.11.1 an outdoor space or light court with a minimum area of 3 square metres and a minimum dimension of 1 metre Clear to the Sky. The 1 metre Clear to the Sky distance can be achieved by including land on the adjoining lot and may be measured from fascia to fascia of an adjoining Building;
- 2.11.2 a verandah on the Lot if it is open for at least one third of its perimeter; or
- 2.11.3 a carport on the Lot if it has two or more sides open and it is open for at least one third of its perimeter.

2.12 Private Open Space (Regulation 421)

2.12.1 For lots equal to or greater than 300 square metres, a Building on a Lot must have Private Open Space:

- (a) not less than 10% of the area of the Lot;
- (b) that is at least 25 square metres with a minimum dimension of 3 metres; and
- (c) has convenient access from a Habitable Room (other than a bedroom).

2.12.2 For Lots 200 square metres to 299 square metres, a Building on a Lot must have Private Open Space:

- (a) of not less than 10% of the area of the Lot;

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- (b) that is at least 20 square metres with a minimum dimension of 3 metres (this may be in the form of a rooftop terrace or balcony that is at least 6 square metres with a minimum dimension of 2 metres); and
 - (c) has convenient access from a Habitable Room (other than a bedroom).

2.12.3 For Lots less than 200 square metres, a Building on a Lot must have Private Open Space:

- (a) of not less than 10% of the area of the Lot;
- (b) that is at least 15 square metres in total area, of which a minimum 12 square metres must have dimensions of 3 metres (this may be in the form of a rooftop terrace or balcony that is at least 5 square metres with a minimum dimension of 2 metres); and
- (c) has convenient access from a Habitable Room (other than a bedroom).

2.13 Design Detail (Clause 54.06-1)

2.13.1 Corner Lots

A Building on a corner Lot must be designed to address (at each level) both the front and side street or public open space.

The materials and colours of the façade facing the side street must complement the front façade materials and colours.

Where a wall to the second storey of a Building faces a side street or public open space, a minimum of one of the following design articulation elements must be provided:

- an additional setback of the second storey of at least 0.9 metres; or
- a portion of wall to the ground, upper or combination of floors to incorporate a minimum 350mm setback or projection for a length of at least 30% of the side wall; or
- contrasting material finish to the upper storey for a length of at least 50% of the wall and the addition of architectural detail such as a series of feature blade elements or similar that project at least 350mm off the side wall; or
- a balcony element on the second storey of the visible side wall.

In addition to the above, the façade of a Building facing a side street or public open space must contain a minimum of 20% glazing to the upper storey side wall. Blank walls facing a side street are prohibited.

2.13.2 Garages

A single storey Building on a Lot with a width of 10 metres or less at the Lot frontage must not contain any garage other than a single garage where access is proposed from the Lot frontage.

A Building of two or more storeys on a Lot with a width of 10 metres or less at the Lot frontage must not contain any garage with an opening greater than 40% of the area of the front façade of that Building:

- The area of the front façade of the Building is measured from a two-dimensional elevation plan and excludes any area of the roof of the Building unless the roof forms part of the front wall interface such as with skillion or gable roof forms.
- In addition, to provide some additional design articulation, the design must incorporate material variation as well as a projection or overhang to the upper floor structure or balcony element that is at least 300mm forward of the garage front wall. A balcony element must have a minimum width of 35% of the Lot frontage.
- A defined sense of entry must also be provided to all homes.
- A Building on a Lot must share a double crossover with the adjacent Lot.
- A minimum of 40% of the upper floor façade must include glazing.

3 SITING OF A BUILDING

A Building (other than a boundary fence) on any Lot with a Height above the Finished Surface Level of greater than 1.8 metres and for which the construction requires a Building Permit must be sited within and in accordance with the Endorsed Building Envelope Plan. The siting of a Building within the Endorsed Building Envelope Plan may be subject to any further restriction or modification imposed by this MCP or any other applicable Control.

4 VARIATION TO SITING OF BUILDING

4.1 Notwithstanding anything to the contrary contained in this MCP, Lendlease may in its absolute discretion authorise in writing the siting of a Building which does not comply with the restriction created by the Plan of Subdivision, provided that such siting complies with:

4.1.1 the requirements of the Building Regulations including being subject to the report and consent of the relevant reporting authority in terms of the Building Regulations.

4.2 Approval by Lendlease pursuant to this clause will only be provided in circumstances where Lendlease in its absolute discretion considers that the siting is desirable, in terms of achieving a better planning outcome than may otherwise be achieved and will not result in any significant detriment to abutting owners or occupiers.

5 APPROVAL OF HOUSE DESIGN

5.1 A two-storey dwelling must be constructed upon any Lot that is identified on the Endorsed Building Envelope Plan as being a Lot upon which a two-storey residence is required, unless Lendlease, in its absolute discretion, approves in writing otherwise.

5.2 The design and siting of a Building on any Lot and the change to any existing Building on any Lot (where such change requires a Building Permit) must be in accordance with the design guidelines applicable to the Lot and must be approved in writing by Lendlease prior to any formal application for a Building Permit.

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- 5.3 Two dwellings must be constructed upon any Lot that is identified on the Endorsed Building Envelope Plan as being a "Gallery (Multi-Dwelling)" Lot or a "Gallery (Single Storey Multi-Dwelling)" Lot unless Lendlease, in its absolute discretion, agrees that such other number of dwellings may be constructed on that Lot.

6 INTERPRETATION

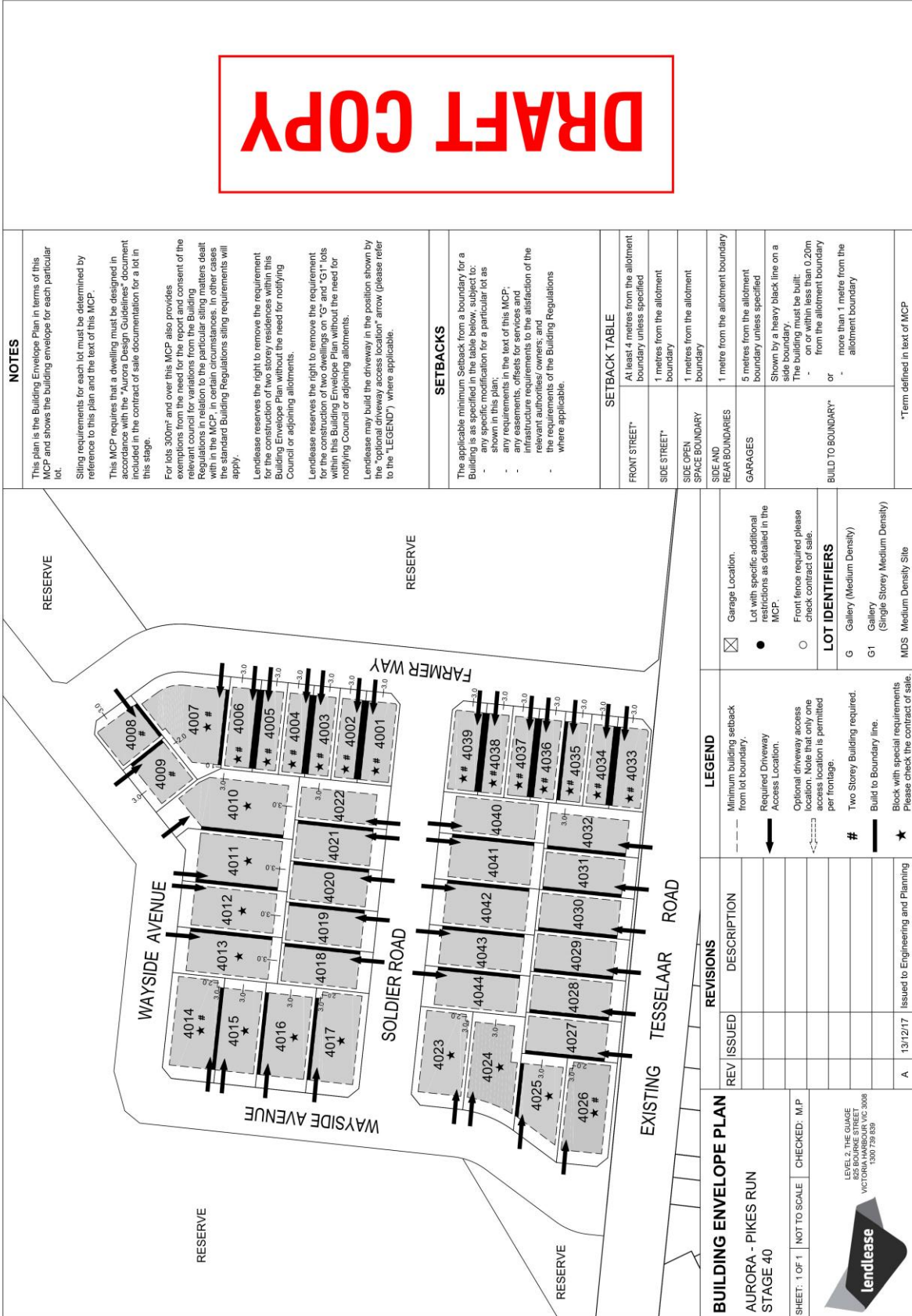
In this MCP, unless the contrary intention appears:

- 6.1 the singular includes the plural and vice versa;
- 6.2 a reference to an individual or person includes a partnership, body corporate, government authority or agency and vice versa;
- 6.3 words importing one gender include other genders;
- 6.4 other grammatical forms of defined words or expressions have corresponding meanings;
- 6.5 a reference to a statute, code or other law includes regulations and other instruments made under it and includes consolidations, amendments, re-enactments or replacements of any of them; and
- 6.6 a reference to an authority, institution, association or body ("**original entity**") that has ceased to exist or been reconstituted, renamed or replaced or whose powers or functions have been transferred to another entity, is a reference to the entity that most closely serves the purposes or objects of the original entity.

ANNEXURE A

Endorsed Building Envelope Plan

DRAFT COPY



NOTES

This plan is the Building Envelope Plan in terms of this MCP and shows the building envelope for each particular lot.

Siting requirements for each lot must be determined by reference to this plan and the text of this MCP.

This MCP requires that a dwelling must be designed in accordance with the "Aurora Design Guidelines" document included in the contract of sale documentation for a lot in this stage.

For lots 300m² and over this MCP also provides exemptions from the need for the report and consent of the relevant council for variations from the Building Regulations in relation to the particular siting matters dealt with in the MCP. In certain circumstances, in other cases the standard Building Regulations siting requirements will apply.

Lendlease reserves the right to remove the requirement for the construction of two storey residences within this Building Envelope Plan without the need for notifying Council or adjoining allotments.

Lendlease reserves the right to remove the requirement for the construction of two dwellings on "G" and "G1" lots within this Building Envelope Plan without the need for notifying Council or adjoining allotments.

Lendlease may build the driveway in the position shown by the "optional driveway access location" arrow (please refer to the "LEGEND") where applicable.

SETBACKS

The applicable minimum setback from a boundary for a Building is as specified in the table below, subject to:

- any specific modification for a particular lot as shown in this plan;
- any easements, offsets for services and infrastructure requirements to the satisfaction of the relevant authorities/ owners; and
- the requirements of the Building Regulations where applicable.

SETBACK TABLE

FRONT STREET*	At least 4 metres from the allotment boundary unless specified
SIDE STREET*	1 metres from the allotment boundary
SIDE OPEN SPACE BOUNDARY	1 metres from the allotment boundary
SIDE AND REAR BOUNDARIES	1 metre from the allotment boundary
GARAGES	5 metres from the allotment boundary unless specified

Shown by a heavy black line on a side boundary.

The building must be built:

- on or within less than 0.20m from the allotment boundary
- or more than 1 metre from the allotment boundary

LOT IDENTIFIERS

G	Garage Location.
G1	Lot with specific additional restrictions as detailed in the MCP.
MDS	Front fence required please check contract of sale.
	Optional driveway access location. Note that only one access location is permitted per frontage.
#	Two Storey Building required.
—	Build to Boundary line.
★	Block with special requirements Please check the contract of sale.

LEGEND

Minimum building setback from lot boundary.	—
Required Driveway Access Location.	→
Optional driveway access location. Note that only one access location is permitted per frontage.	↔
Two Storey Building required.	#
Build to Boundary line.	—
Block with special requirements Please check the contract of sale.	★

REVISIONS

REV	ISSUED	DESCRIPTION
A	13/12/17	Issued to Engineering and Planning

BUILDING ENVELOPE PLAN
AURORA - PIKES RUN
STAGE 40

SHEET: 1 OF 1 | NOT TO SCALE | CHECKED: M/P

LEVEL 2: THE GARAGE
 1300 739 839
 VICTORIA HANDBOOK VIC 3008

lendlease

*Term defined in text of MCP