



A Guide to Building Your New Home at



Jordan Springs is a Fibre Connected Community.

Telephone, Internet and TV services will all be delivered via modern fibre optic technology. Traditional copper phone lines will not be available.

The telecommunications provider is OptiComm Pty Ltd.

Please refer to the *Helpful Info - For a Builder* section of the Opticomm website <http://www.opticomm.net.au> for essential information relating to cabling compliance requirements for the builder, the electrician and the cabling contractor.

INTRODUCTION:

The Process of Building Your New Home:

The guide to Building Your New Home in Boronia at Jordan Springs outlines the requirements for your new home. The Building and Siting Guidelines help to simplify and streamline the process of building your new home, and ultimately aim to protect your investment by ensuring that a consistent standard of homes are constructed in Boronia Village at Jordan Springs. Design approval can be obtained by following the steps in this guide:

Checklist of key steps:

1. Settlement of land and payment of compliance bond.
2. Opportunity to discuss initial concept plans with your Jordan Springs Design Co-ordinator.
3. Lend Lease design approval.
4. Private Certifier Certification **or** Penrith City Council development approval.
5. Completion of house and receiving your occupation certificate.
6. Completion of landscaping and fencing.
7. Provide Occupation Certificate to Lend Lease for final review and return of compliance bond.

STAGE 1

JORDAN SPRINGS DESIGN APPROVAL

1. Review the Building and Siting Guidelines ensuring that you are aware of all the requirements for your block. Work with your builder and/or architect to select the design of your home and landscape.
2. Contact Lend Lease if you would like to use our "Free Design Review" service. An appointment will be made with your Design Co-ordinator to discuss your ideas and plans.
3. Lodge your house plans with Lend Lease via the Lend Lease Builder Agent Hub www.lendleasebuilderagenthub.com.au for developer endorsement. Your will need to do this builder on your behalf and assessment will take up to 15 working days. If you are required to make some changes discuss these with your builder and/or architect and re-lodge your plans with Lend Lease, including the relevant changes. The Jordan Springs Design Co-ordinator has the ability to review and stamp plans based on merit where an equal or better outcome is proposed.

STAGE 2 - COUNCIL/CERTIFIER APPROVAL

Complying Development Code is able to be used at Jordan Springs. You have the opportunity to use a Private Certifier for your approval provided your home meets the Complying Development Code. If your home does not meet the Complying Development Code you are required to obtain development consent from Penrith City Council

PRIVATE CERTIFIER

1. Lodge plans with your nominated Private Certifier including Design Co-ordinator stamped plans.
2. Receive Complying Code Certificate
3. Notify neighbour

COUNCIL

1. Lodge Development Application with Penrith City Council including Design Co-ordinator stamped plans.
2. Receive DA Approval.
3. Lodge application for Construction Certificate with either Council or a Private Certifier.
4. Receive Construction Certificate approval.

STAGE 3 - CONSTRUCTION

1. Complete house and fencing.
2. Obtain an Occupation Certificate provided by Council or Private Certifier.
3. Complete landscaping.
4. Submit a copy of your Final Occupation Certificate to the Lend Lease Design Co-ordinator for a Compliance Bond Review. Your Compliance Bond will be returned provided all Building and Siting Guideline requirements have been satisfied.

DESIGN CONTROLS:

THE FRONT OF YOUR HOME

Front Setback - is 4.5m minimum from the front boundary.

Articulation Zone - is 1m forward of the front setback, or 1m forward of the secondary frontage setback on corner lots.

FRONT DOORS - are to be located on the the primary frontage, which is the shortest frontage of the lot.

GARAGES - are to be set back a minimum of 5.5m from the front boundary and 1m behind the main building line. The garage location is shown on the building envelope plan. A maximum of a two car garage frontage is permitted to the street of any lot. Garage doors are to be sectional or panel lift doors. Carports are not permitted.

DRIVEWAYS - are to be 3m wide for a single garage and 5m for a double garage. Driveway treatments such as stencilled concrete or paving is to end at the lot boundary. Plain concrete is to be used from the front boundary to the kerb in accordance Penrith City Council requirements and must be perpendicular. Footpaths are to remain continuous along the street and are not to be interrupted by driveways.

EAVES - are to be a minimum 450mm excluding fascia and gutter. A reduced eave of 300mm excluding fascia and gutter is permitted only, where a single storey house element is proposed on a Villa (10m wide), Premium Villa (12.5m wide) or Courtyard (15m wide) lot, that is affected by a maintenance easement.

Single storey elements of a home cannot have an eave overhanging a maintenance easement. Single storey building elements adjacent to a maintenance easement are to be set back 1.2m when using a 300mm eave or 1.35m when using a 450mm eave.

ROOF PITCH - is to be minimum 22.5 degrees for hip or gable roofs and minimum 10 degrees for a skillion roof. Flat roofs are to be concealed behind a parapet, and may required fixed shading over glazing.

FRONT FENCING - Front fencing is not to be greater than 1.2m high and is to be permeable. Pool style fencing alone, is not permitted as front fencing. Lysaght style fencing is not permitted as front fencing.

LETTERBOX - Letterboxes are to complement the design of the house and be integrated into any front fencing.

MATERIALS - Multi coloured bricks and roof tiles are not permitted. The home is to be constructed of a minimum 60% brick, masonry or render finishes (excluding windows and openings). Consideration of homes with no masonry component can be considered by the Design Coordinator on architectural merit.

Quick check table of setbacks from boundaries:

Front Setback: 4.5m min.

Rear Setback: 3m min.

Garage Setback: Minimum 5.5m from front boundary, and 1m behind main building line. Secondary frontage garage setback is 2.5m and 1m behind adjacent building line.

Standard Lot Side Setback: 0.9m and/or zero if applicable.

Side Setback Adjacent to Maintenance Easements: Single storey building elements adjacent to a maintenance easement are to be set back 1.2m when using a 300mm eave or 1.35m when using a 450mm eave.

Secondary frontage setback on corner lots are 1.5m unless otherwise indicated on your Building Envelope Plan

Articulation Zone: 1m forward of front or secondary setback.

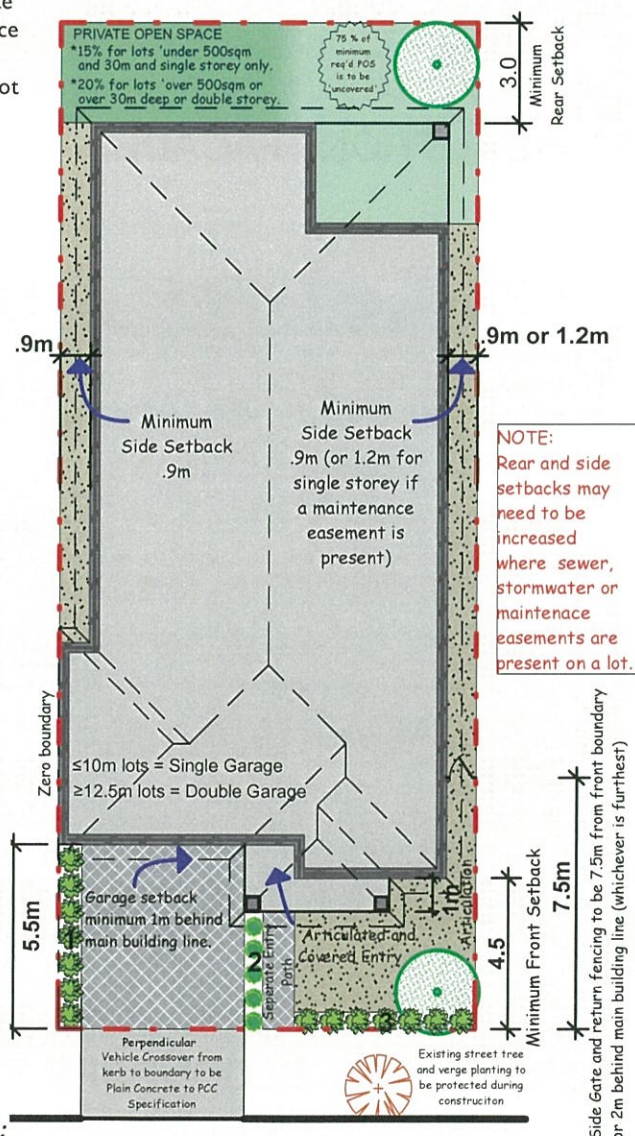
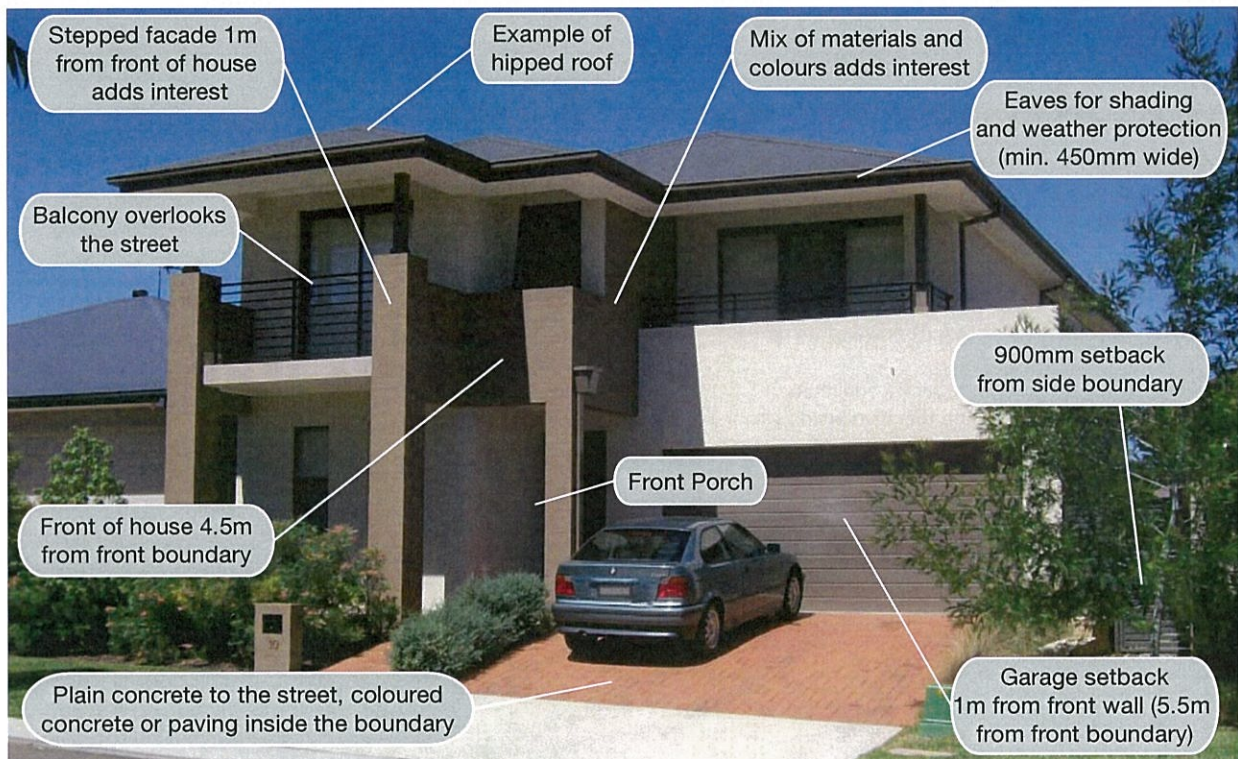
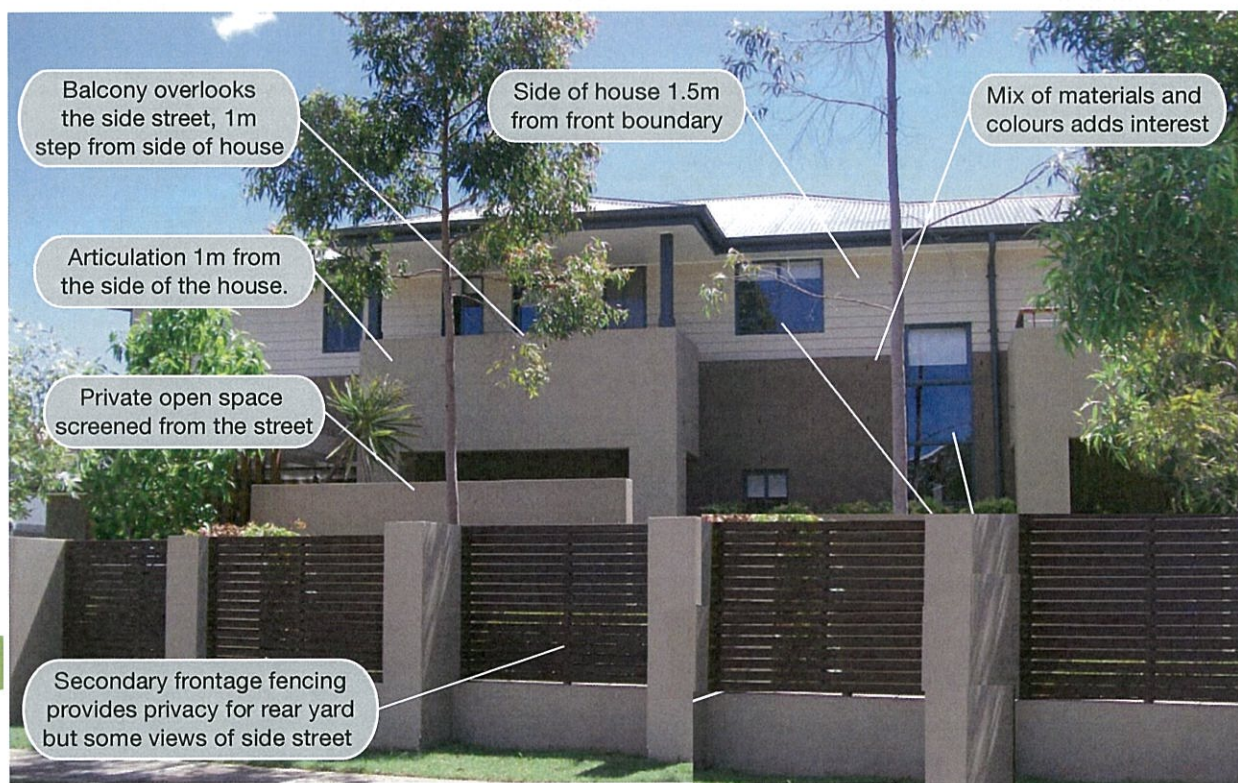


DIAGRAM 1:



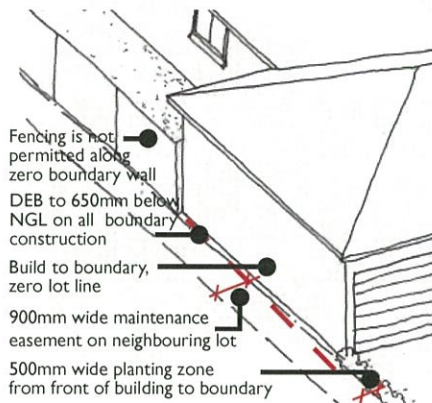
TYPICAL FRONT FACADE



CORNER LOT - SECONDARY FRONTAGE (SIDE STREET)

DESIGN CONTROLS:

THE SIDE OF YOUR HOME



Side Setback is 0.9m and/or zero if applicable to your lot. A zero boundary means that on the ground floor, you can build to the boundary on the nominated side to a maximum length of 13m. Any zero boundary construction is to provide a drop edge beam to 650mm below natural ground level. Where a wall is constructed on the zero boundary of a lot, no fencing or glazing is permitted along this wall. Gutters are not to encroach neighbouring properties. A 900mm setback applies to upper storeys on a zero boundary. If you choose not to build to the boundary then a minimum setback of 900mm applies.

Eaves on a single storey home are not to encroach on any easements. A 1.2m side setback (for 300mm eaves) or 1.35m setback (for 450mm eaves) is required on side elevations adjacent to a maintenance easement. Eaves are not to be within 450mm of the boundary on upper storeys.

Corner Lot Frontage - Homes on corner lots shall provide a secondary building frontage of 10m min. Reduced lengths will be considered on merit. This is to include a broken roofline, building line and suitable glazing. The secondary frontage should be setback 1.5m unless otherwise specified on your Building Envelope Plan. Garages on secondary frontages must be set back a minimum 2.5m from the boundary and a minimum of 1m behind the secondary frontage building line. Front doors are to be from the primary frontage.

Side/Internal Fencing, gates and returns are to finish 7.5m behind the front boundary or 2m behind the adjacent facade whichever is furthest from the front boundary. All internal fencing is to be Lysaght 'Smartascreen' in Grey Ridge or equivalent. Any return fencing or gates over 2.8m long must be slat fencing.

Corner Lot Fencing - Secondary fencing must provide 360mm x 360mm masonry piers at 2.5m to 3.5m centres. Fencing base may comprise of minimum masonry base, or a 300mm to 500mm planting strip along base of infill, to the street. Planting strip must be within lot boundary. Infill material may be timber or aluminium slats with 10-20mm spacing. Secondary fencing style must return to dwelling. Secondary fencing length is to be a maximum of 50% of the boundary length and must be stepped to accommodate slope. Limited additional length may be considered on merit. **NOTE: Lots with corner lot fencing to Lakeside Pde, must provide fencing infill of 75mm thick flat slats with 10mm spacing in the colour of Colorbond 'Ironstone'. Posts are to be installed to the internal lot if used and slats are to be centred on piers. Rendered 360 x 360mm masonry piers must be provided at 3.5m spacing and are to be British Paints 'Black Orbit' (Code 429 BR). A 500mm planting strip along the base of the infill to Lakeside Pde is required and is to be wholly within the lot boundary.**

Reserve Front Lots: Rear/Side Boundary Fencing - is to be aluminium flat slat fencing in Lysaght Fencing Colour 'Grey Ridge' or equivalent. Aluminium slats must be 75mm thick with 10mm spacing, with all posts and rails installed to face the lot, leaving a smooth slat finish to the reserve. **(Subject to Council approval)**



Example of Secondary Fencing with planting strip base



Example of Secondary Fencing with masonry base



Lysaght "Smartascreen" 1.8m high fencing in "Grey Ridge" colour or equivalent required for internal fencing. Not permitted for street fencing, such as front fencing or secondary frontage fencing.

THE BACK OF YOUR HOME

Indoor / Outdoor Living - Your home will need to have a direct connection between indoor living areas and private open space.

Rear Setback - The minimum building setback to the rear is 3m.

Private Open Space - All private open space must be 3m minimum in width and length and can be achieved via centrally located courtyards to the side of your home provided there is a 3m wide connection to the rear yard or access to both spaces from an internal living area.

- LOTS OVER 500sqm and LOTS OVER 30m deep - for lots over 500sqm, or lots with a depth over 30m the minimum private open space required is 20% of the lot size, with 75% of this P.O.S to be uncovered.
- LOTS UNDER 500sqm (SINGLE STOREY) - for single storey homes on lots under 500sqm, the minimum private open space required is 15% of the lot size, with
- LOTS UNDER 500sqm (DOUBLE STOREY) - for double storey homes on lots under 500sqm, the minimum private open space required is 20% of the lot size, with 75% of this P.O.S to be uncovered.

DESIGN CONTROLS:

Reserve Front & Open Space Lots- Dwellings built on lots that share a boundary with open space or the riparian corridor are to be designed to appropriately address and overlook the adjacent public domain, to ensure adequate passive surveillance and a suitable appearance when viewed from these spaces. This includes breaking the roofline and building line, providing sufficient glazing, providing habitable spaces adjacent to these areas and including balconies to the upper floor on double storey homes.

Swimming Pools - Swimming pools are permitted, provided they are in within rear private open space area. Refer to Penrith City Council's requirements for swimming pools.

Other Structures - Elements such as air conditioners, television/radio antennas and satellite dishes, solar hot water heaters, solar collectors, clotheslines, hot water systems, garden sheds, lockers or storage, gas and water meters and plumbing pipes are to be concealed from public view from the street or adjoining open space where possible. Plumbing is to be concealed within walls on all upper storeys.

Pergola structures without a roof are permitted to the rear or side the home outside the building envelope and are to be set back a minimum of 900mm from any boundary. Garden sheds are to be a maximum of 10m² and should not be visible from street or park frontages and are to be setback a minimum of 900mm from any boundary.

All dwellings must demonstrate compliance with the provisions of BASIX. All lots above 400sqm are required to have rainwater tanks.

Privacy - Privacy screens are required to upper storey living spaces within 6m of the rear boundary, and may be required on other windows for sloping lots.

Privacy treatment may include fixed horizontal or vertical louvre screens, fixed and obscure glazing, sill heights of 1.5m above floor level or off-setting of windows where adjacent dwelling is already built. Privacy treatment is not to encroach on any easement.

FIBRE TO THE HOME:

This network will offer access to a wide range of communication services from a choice of retail carriers and service providers including:

- Free to air television distribution
- High speed broadband internet

Jordan Springs will be serviced by Fibre to the Home (FTTH) which will offer residents the next generation in broadband, voice and entertainment services.

We have made the latest communications infrastructure available to you at Jordan Springs by providing provision for 'Fibre to the Home'. You will need provide the connection from the street to the home.

Choosing to use fibre for all your communications services will keep your roof clear of unsightly aerials and dishes, while still providing all the latest communication services to your home.



Example of secondary frontage articulation for a two storey home.



Example of a parkfront home addressing open space



Example of pergola structure permitted outside the building envelope.



Example of privacy screen.

LANDSCAPING GUIDELINES:



Jordan Springs Landscape Plan Check List

- A landscape plan is to be provided at 1:100 @ A3 by a qualified landscape designer/architect/horticulturist.
- The plan is to be fully documented with survey details including contours, lot dimensions, kerb, layback, vehicle crossover, retaining walls, surface materials, planting, easements, clothes line, water tank, air-conditioning units and fencing details. Clothes lines, water tanks and air-conditioning units are to be concealed from the street.
- The landscape plan is to show any existing street trees and note that "All existing street trees and verge planting are to be protected during construction".
- A minimum of 50% of the planting is to be Australian natives or water wise planting, and must be clearly indicated in a planting schedule with '*' or similar and the percentage of this planting is to be noted eg. 50% Australian native, 50% exotic.
- The landscape plan must have a plant schedule including botanical names, common names, pot sizes, heights and widths.
- One tree of significant height between 4m - 8m must be provided in the front yard and back yard of the lot. One of the trees is to be an Australian native species.
- A 300mm -500mm planting strip is required for the length of the following three locations:- between driveway and entry path, between driveway and side boundary, along the front boundary (including any part of the secondary street frontage without fencing).
- A separate entry path is required to the front door. This entry path is to be independent of the driveway, and a maximum of 1.8m wide. The entry path can be curved, shaped or straight.
- A minimum of 50% of the lots 'total landscaped area' (everything outside the building footprint) is to be soft or permeable surface. Note: Artificial turf is not considered a permeable surface and is not permitted as part of the soft or permeable landscaping works. Artificial turf is not to be used where it is visible from the street.
- The vehicle crossover width from kerb to the front boundary is to be 2.8m - 3m for a single garage or 4.6m - 5m for a double garage with parallel sides. Footpaths are to remain continuous along the street. The vehicle crossover from (from kerb to front boundary) is to be plain concrete. The site and landscape plan is to note crossover as "plain concrete to PCC specification". Driveways within boundary must be hard surface eg. paved, coloured, stencilled or plain concrete. Driveway tracks, turfed or loose pebble/gravel driveways are not permitted.
- Garden sheds are to be maximum of 10m² and a minimum of 900mm from any boundary. Garden sheds are to be concealed from public view, and considered with service locations.
- Retaining walls visible from the street or 900mm high and over are required to be constructed of: textured or coloured masonry, bricks, blocks or concrete including rendering. Retaining walls which are not visible from the street are not required to be constructed of masonry. The landscape plan is to provide a note showing that "Any retaining walls visible form the street (including in front of side gates and fencing returns) or 900mm high and over are to be constructed of masonry".
- Front fencing if provided is to be a maximum of 1.2m high with permeable infill.
- Internal fencing along rear and side boundaries is to be 1.8m high Lysaght 'Smartascreen' in Grey Ridge or equivalent. All internal fencing, return fencing to the dwelling and side gates are to be set back a minimum of 7.5m or 2m behind the adjacent facade whichever is further back from the street.
- Any return fencing to the dwelling or side gates over 2.8m long must be either screened by dense height planting or fencing upgraded to slat style fencing or equivalent.
- Secondary corner fencing is permitted for a maximum of 50% of the lot length (measured from the longest side). Minimal additional fencing lengths may be considered if justified.
- Secondary corner fencing is to be 1.8m high and must provide 360mm x 360mm masonry piers at 2.5m - 3.5m centres. Fencing base may be comprised of either a 360mm - 500mm masonry base to match piers, or a 300mm-500mm planting strip at the base of infill slats to the street (Note: planting strip is to be wholly within lot boundary, so pier location may need to be set back within lot when using this option). Infill materials may be stained timber or aluminium slats, or 'dressed' timber painted a neutral colour to compliment the home. Minimum spacing for slats is 10mm. Secondary corner fencing should step at regular intervals on sloping lots.
- The landscape plan is to comply wholly with the Jordan Springs Buiaing and Siting Guidelines.

ATTACHMENT A : Approval Process

Information Required for Approval

The approval package consists of to scale PDF copies of:

- the site plan; Note: A survey is required to be completed and details included in the site plan
- house plans, elevations and sections;
- schedule of external materials and colours, with accurate colour and material swatches or images (original samples may be requested);
- An accurate landscape plan completed by a qualified landscape designer, architect or horticulturist; and
- Basix Certificate.

Lodgement of Plans

- Plans are to be submitted via the Jordan Springs Builders Hub only www.lendleasebuilderagenthub.com.au
- PDF's are to be combined into four files - architectural plans, landscape plan, external finishes schedule and BASIX
- If your builder does not have access to the Jordan Springs Builders Hub they must request access from www.lendleasebuilderagenthub.com.au

Compliance Bond

A \$2500 compliance bond is required to be paid at the time of settlement as noted in your contract. Conditions for the release of the compliance bond are:

- That no variations have occurred to the exterior of the home as approved by the Jordan Springs Design Co-ordinator.
- That any damage to the surrounding public areas including streets, street trees, footpaths, nature strips, vehicle crossovers services and adjoining land caused by the construction of your home have been rectified.
- That you have carried out the site management requirements (refer Attachment B).
- That the commencement and completion of construction was within the specified time constraints.
- That the landscaping of the front and or secondary garden, rear yard tree and all fencing has been completed in accordance with the landscape plans approved by Lend Lease and within the required time periods.
- That no dumping of rubbish or spoil on adjoining lots or other areas outside your site has occurred during the construction process.

Timing

- Construction of your house, driveway and fencing is to be completed within 24 months of settlement.
- In order to achieve this timing it is recommended that an application for design approval be submitted to the Design Co-ordinator no later than 6 months after settlement to ensure that construction is complete within the 24 month timeframe.
- Landscaping of your front and/or secondary frontage garden is to be completed within 3 months of the occupation of your home.

ATTACHMENT B : Construction Information

Site Management

Please refer to Penrith City Council's Site Waste and Minimisation Development Control Plan for regulations related to site management. Also refer to Penrith City Council's Soil Erosion and Sediment Control Plan.

Lot Maintenance

Before, during and after construction of your home, your lot is required to be kept clear of excessive weeds, rubbish and maintained to an acceptable standard. Excavation material, rubbish or builder's waste is to be stored in a covered bin, and may not be deposited on adjoining properties, nature strips or in public areas during construction. Lend Lease do not manage nor are they responsible for dumping on your lot. We strongly recommend that you secure your site as soon as possible after settlement to prevent dumping of rubbish on your site.

Deliveries and Storage

All building materials, temporary toilets and building equipment must be stored within the property boundaries of your lot at all times. The nature strip, footpaths, roadways, neighbouring properties and public areas must be kept clear - at all times.

You will be responsible to rectify any damage caused by deliveries or by construction vehicles associated with the construction of your home to areas outside your lot.

Your builder and their subcontractors are not to park on the adjoining lots, surrounding public areas or nature strips.

Rubbish Removal

You are responsible for rubbish removal and for keeping the site and adjoining street clean at all times from date of settlement including, during the pre-construction and construction period of your home and landscaping. A covered rubbish collection bin is to be provided during the construction period and kept within the property boundary.

NOTE: Please be aware that dumping of either rubbish or spoil on adjoining lots or other areas outside your site may result in forfeiture of the Compliance Bond.

Site Security

During periods in which your home site is unoccupied or building works are not in progress, it is advisable to ensure adequate fencing (acceptable to Penrith City Council) is erected to restrict public access. In this regard the minimum acceptable standard of fencing to the site is 1.8m high temporary construction fencing properly constructed, erected and clad internally with hessian or geotextile fabric. All openings are to be provided with gates, which are not at any time to swing out from the site or obstruct the footpath or roadway.

Street Tree Protection

Any damage to street trees or tree guards during construction is the responsibility of the property owner to repair. Any damage to the surrounding public areas including streets, street trees, footpaths, nature strips, services and adjoining land caused by the construction of your home is your responsibility.

ATTACHMENT C : Relevant Planning Considerations

The development control strategy for Jordan Springs (otherwise known as the Western Precinct Development Control Strategy) contains a number of guidelines that may influence how you design your new home at Jordan Springs. A summary of these controls are listed below.

Noise Attenuation

- The design of attached dwellings must minimise the opportunity for sound transmission through the building structure, with particular attention given to protecting bedrooms and living areas.
- Living areas and service equipment must be located away from bedrooms of neighbouring dwellings.
- Noise sensitive areas are to be located away from noise emitting sources.

Safety

- Dwellings should be designed to overlook streets and other public or communal areas to provide casual surveillance.
- For residential dwellings, roller shutters are not to be used on doors and windows facing the street. Security railings must be designed to complement the architecture of the building.
- Pedestrian and communal areas are to have sufficient lighting to ensure a high level of safety. These areas must be designed to minimise opportunities for concealment.
- All developments are to incorporate the principles of Crime Prevention Through Environmental Design, in accordance with Penrith City DCP 2006. When assessing applications, Council must give consideration to Planning NSW guidelines for Crime Prevention and the Assessment of Development Applications.
- Avoid the creation of areas for concealment and blank walls facing the street.

Solar Access

- Areas of private outdoor space should receive at least 3 hours of sunlight between 9am and 3pm at the winter solstice.
- Dwellings should also be designed to avoid overshadowing of adjacent properties and to protect sunlight access to any habitable room or private outdoor living space of adjacent buildings to less than 4 hours between 9am and 3pm at the winter solstice (21 June).

Energy and Water Efficiency

- BASIX Certificate is to accompany DAs for new dwellings.
- The design of dwellings should minimise heat loss and the absorption of heat through measures such as the use of insulation in walls and roofs.
- The design of dwellings should minimise heat loss and the absorption of heat by limiting the size of windows on the western facades of buildings.
- Dwellings should be designed to allow cross ventilation, where appropriate, by positioning windows and doors opposite each other within rooms and providing fans and alternative forms of mechanical ventilation (other than air conditioners).
- Dwellings should be designed to face living spaces to the north, sleeping areas to the east or south, and utility areas to the west or south.
- Dwellings should be designed with north facing windows.
- Dwelling design should consider shading of north, east and west facing windows through use of elements such as shading devices, including eaves, verandas, pergolas and awnings.
- Dwellings should utilise energy efficient fixtures such as solar hot water systems or star rated appliances.
- Dwellings should be designed so that:
 - hot water systems are located as close as possible to wet areas;
 - wet areas are clustered to minimise pipe runs;
 - external clothes drying areas are provided, with access to sunlight and breezes; and
 - reflective or light coloured materials are used and/or dwellings are painted in light colours.