

The New Rouse Hill Community Scheme





The New Rouse Hill Community Scheme

The New Rouse Hill is a vibrant community in the beautiful Hills District in Sydney's North West. When complete it will comprise up to 1800 dwellings linked by 32 hectares of green open space and walking and cycling trails, as well as exclusive recreational facilities for residents.

When you make the choice to move to The New Rouse Hill, you join a community that has an established framework to provide a high standard of living and amenities for residents, as well as a range of facilities and features to suit a broad range of lifestyles.

The New Rouse Hill is a Community Title development. Community Title is a form of land ownership and management which gives residents shared ownership of common facilities and Torrens Title over their specific lot. It enables residents to enjoy a greater range and better quality of services and facilities than they would in other traditional new developments or established suburbs. Importantly, it empowers residents with a higher level of input into how their community is managed and maintained.

Building and Siting Requirements

The New Rouse Hill Building and Siting Requirements have been carefully planned to ensure attractive streetscapes and quality homes that are designed to minimise energy and water use. The Community and Precinct Associations are able to adopt and oversee the maintenance of these requirements.

Levies

A budget is drafted at the Community Association level and is adopted by the Community Association. From this budget an amount is allocated to each Precinct Association. Each Precinct Association drafts a budget which incorporates the anticipated costs to maintain their Precinct Association plus the allocation to the Community Association.

The Community Association provides a levy notice to each Precinct Association. The Precinct Associations will then issue a levy notice to each owner within their scheme, which means that you will only ever receive one levy notice that incorporates all costs.

Paid quarterly, levies will be collected and used by the Precinct Associations and Community Association to pay for the management and maintenance of the facilities and services.

Each home owner's levy is determined by the unit entitlement of their lot. The unit entitlement is based on the unimproved value of the lot at the time of development. The value is assessed by a registered independent valuer. Owners with higher levies in the Community Association will have proportionally higher voting rights.

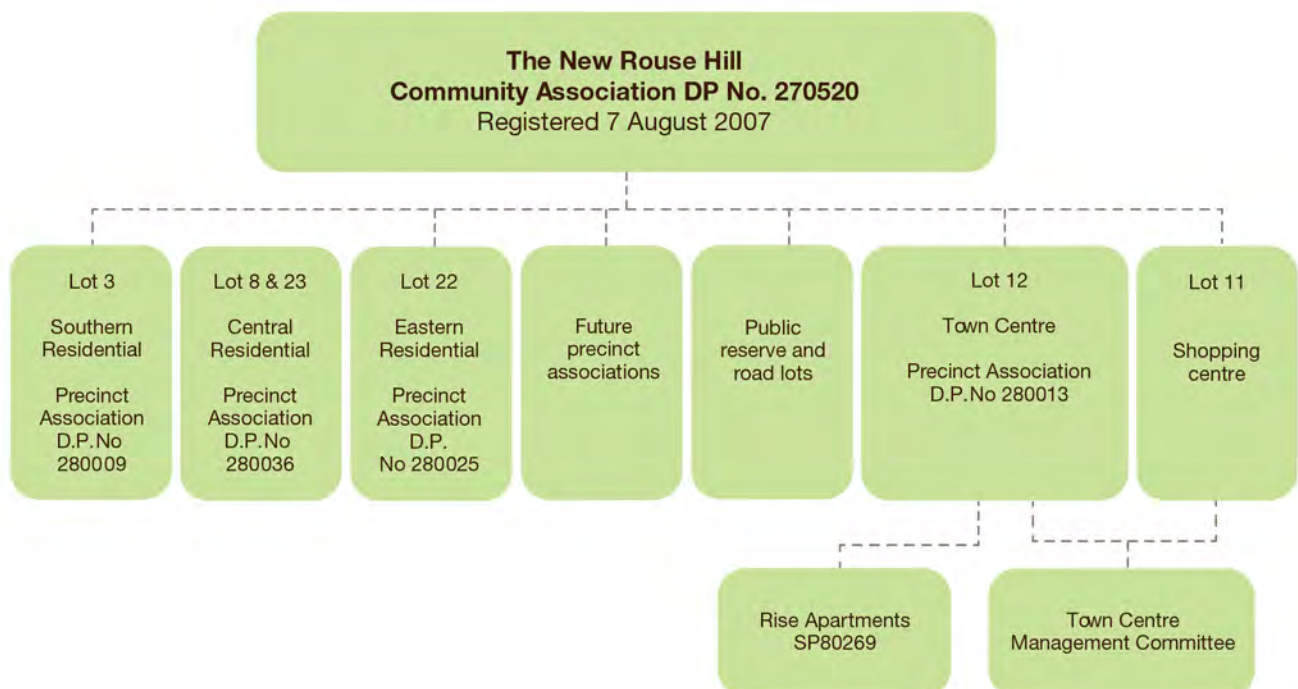


Community Scheme Structure

The New Rouse Hill consists of a Community Scheme which is further subdivided into Precinct and Strata Schemes.

Each scheme is created by registration of a Community, Neighbourhood or Precinct plan and allows for various levels of management and stages of development. Common areas within a Community or Precinct scheme are owned and managed by a body corporate comprising all lot owners within the scheme. The body corporate is known as the Association. The Associations for Neighbourhood and Precinct schemes and the owners Corporations for Strata schemes, with a staged Community Title scheme, are members of the Community Association.

The common areas within a Community Title scheme are known as the Association property and are comprised in lot 1 of the scheme. Unit entitlement is based on site values and determines the lot owner's voting rights and contribution to maintenance levies.





Associations

- Comprise elected committee members who represent all residents
- Will employ a professional day-to-day administrator
- Are guided by their Management Statements/By-laws
- Conduct committee meetings and Annual General Meetings
- Strike levies to pay for the management and maintenance of Association property
- Each home owner will only receive one levy bill each quarter, combining costs from the community and precinct associations (and for apartments from the strata scheme where applicable)
- Residents can be as involved as they choose and have a say over how their community is managed
- All owners are members of individual Precinct Associations

Community Title at work

Community Title caters for a growing number of home owners seeking better facilities and more value for their money. About 1500 Community Title Schemes exist in New South Wales today.

A Community Title Scheme starts when a Community Plan is registered with the New South Wales Land and Property Information. A Community Association is formed to manage the community. The Community Association will then divide into more discrete Precinct Associations. Residents will become members of a Precinct Association when they purchase their lot.

All residents of The New Rouse Hill are members of one of the Precinct Associations. Each precinct has representation in the overall Rouse Hill Community Association. These precincts are managed through Community and Precinct Management Statements in accordance with the Community Land Management Act (1989).

At The New Rouse Hill, apartments are individual Strata Schemes within a Precinct Association.

For more information on Community Title, visit the New South Wales Department of Fair Trading website: www.fairtrading.nsw.gov.au

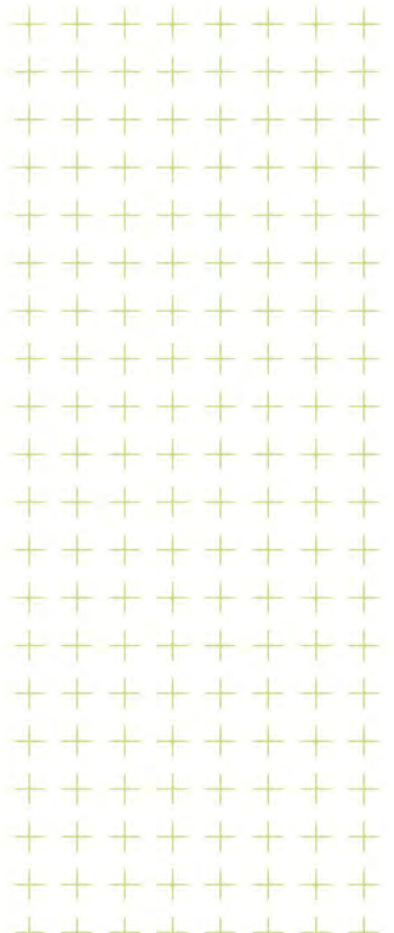


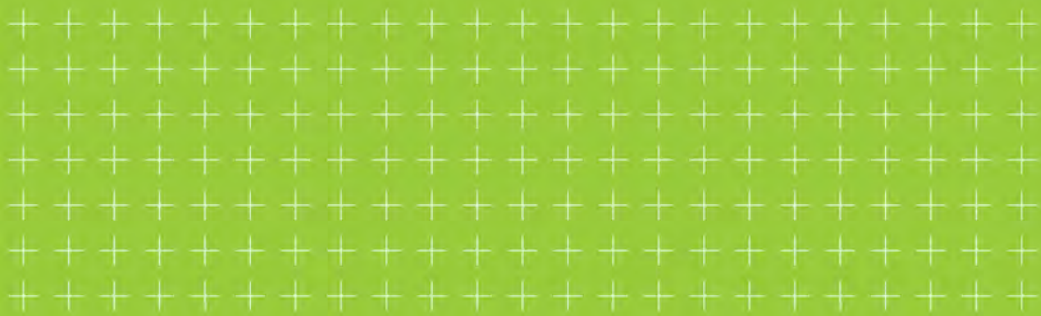
The Benefits of Community Title at The New Rouse Hill

Under Community Title, residents pay towards a Community Association levy, which enables owners to enjoy an extensive range of community services and facilities, delivered in stages, as development of The New Rouse Hill progresses. This is an ongoing investment to maintain a high level of facilities and services available to residents. When development is complete, residents of The New Rouse Hill will enjoy the benefits of community title, including:

- Mungerie House, an 1890's homestead that has been returned to its former glory
- Mungerie Paddock, including a large grassed kick-around area, walking and cycling trails, picnic spots and wetlands
- Landscaped maintained neighbourhood parks
- Exclusive Residents' Facilities that are accessed by keys and swipes, issued to each purchaser
 - Community Pavilion including meeting room, kitchenette, gym and change facilities
 - Outdoor heated swimming pool
 - Tennis court
 - Multi-use court
- Nightly security patrols
- Facilities Manager
- Our Rouse Community Portal
- Café at Mungerie House

The Eastern Residential Precinct Association includes a swimming pool and change room facilities for the exclusive use of the Precinct owners and residents, who will oversee management and maintenance of the Iron Bark Private Pool. The costs in relation to these facilities are paid by the owners within the Precinct.





the new
Rouse Hill

PH 1800 200 902

www.thenewrousehill.com.au